

PSP 2.0

Melton East
WURUNDJERI COUNTRY
PRECINCT STRUCTURE PLAN

Pitching Sessions
Summary Report

JUNE 2022

VICTORIA
State
Government

N I C H E
— PLANNING —
S T U D I O

vpa
Victorian Planning Authority

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Acknowledgement of Traditional Custodians

The Victorian Government proudly acknowledges Victoria's Aboriginal communities and their rich cultures and pays respect to their Elders past, present and emerging. We acknowledge Aboriginal people as Australia's First People and as the Traditional Owners and custodians of the land and water on which we rely. We recognise and value the ongoing contribution of Aboriginal people and communities to Victorian life and how this enriches us. We embrace the spirit of reconciliation and ensuring that Aboriginal voices are heard.

Victorian Planning Authority's commitment

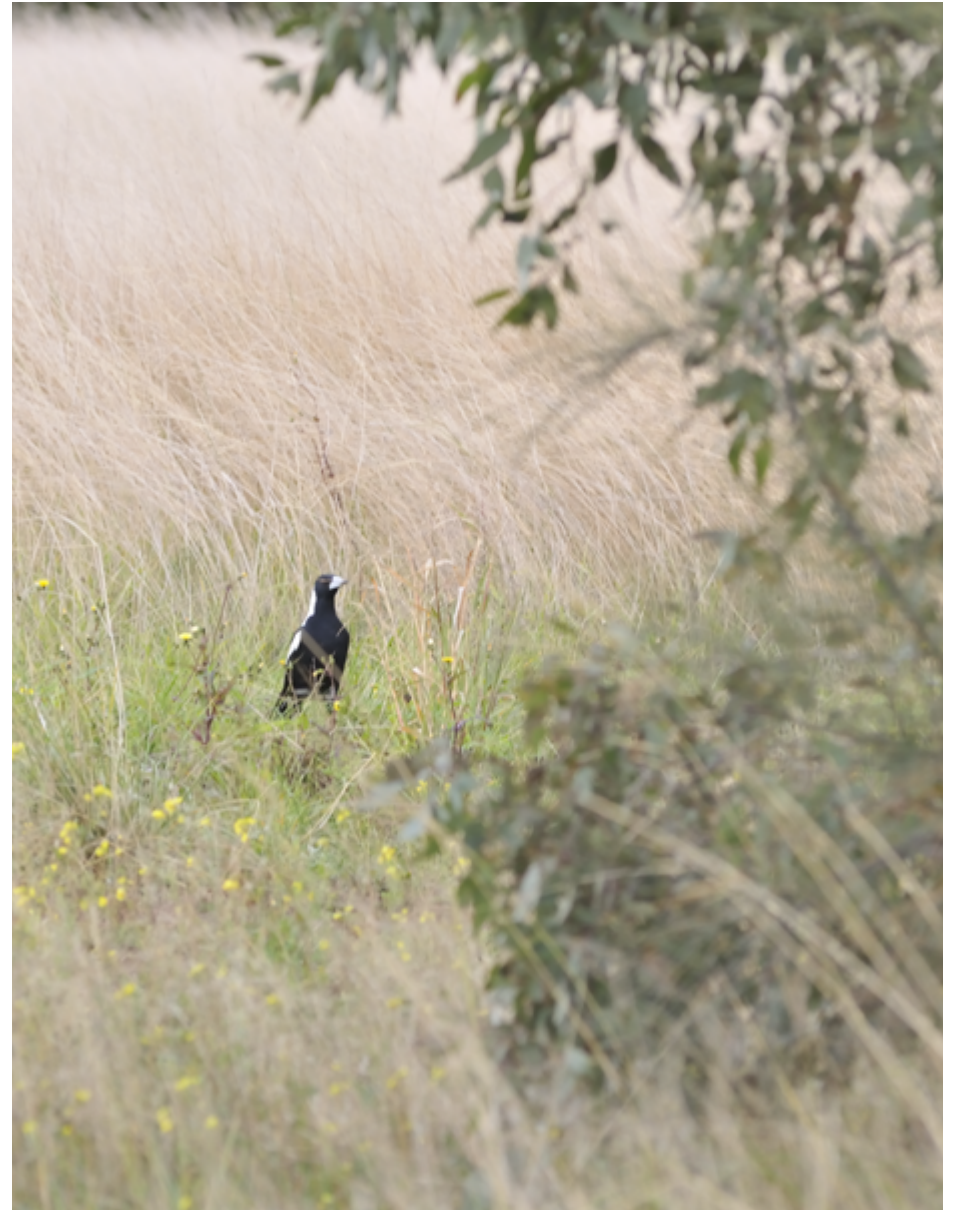
The Victorian Planning Authority commits to continuing to improve our practices, to better protect and acknowledge Aboriginal values and heritage in our plans, precinct structure plans and strategic documents.

The protection of tangible and intangible Aboriginal cultural heritage is an important part of continuing cultural practice, understanding history and recognition of the Traditional Owners of Victoria. Commonwealth and State Acts and Regulations provide protection of places and areas of Aboriginal cultural heritage significance.

The ultimate custodians of Aboriginal cultural heritage are Traditional Owners, including groups formally recognised as Registered Aboriginal Parties (RAPs) which are appointed by the Victorian Aboriginal Heritage Council under the *Aboriginal Heritage Act 2006*. In 2022 there are 11 RAPs with decision-making responsibilities for approximately 74 per cent of Victoria. Traditional Owner Groups without formal recognition also have a vital role to play as key partners and stakeholders.

Strategic planning for Aboriginal cultural heritage also involves a range of different stakeholders including State Government agencies, local government, developers, landowners and community groups.

The Traditional Owners of the Western Metro region, and specifically the land where Melton East PSP is located, are the Wurundjeri people of the Kulin Nation.



Introduction

Melton East is located within the Western Growth Corridor, 35km north-west of Melbourne and to the east of the existing Melton township.

The future Melton East Precinct Structure Plan (PSP) covers 1,005 hectares, with an expected residential yield of 12,895 lots and 3,868 jobs. The future residential nature of the PSP, supported by local commercial jobs, is identified in both the Western Growth Corridor Plan and the recently released draft Land Use Framework Plans.

Melton East PSP has most recently been included in the *VPA Business Plan 2020/21* as a Tier 2 project to support the ongoing growth of the Melbourne metropolitan region.

What is the purpose of this document?

Building on these strategic documents, and to facilitate preparation of the PSP, the VPA has undertaken a series of pitching sessions with interested landowners, agencies, service providers and council as part of the PSP 2.0 process. These sessions have drawn out a series of key themes and aspirational vision statements to guide ongoing visioning and co-design workshops.

This document provides an emerging vision and summary of key themes raised during the pitching sessions, namely:

- [Access & movement](#)
- [People & places](#)
- [Servicing & utilities](#)
- [Environment & sustainability](#)

Who attended the sessions?

Independent pitches for the planning of Melton East PSP were presented by Melton City Council, 13 private landowners (as illustrated on [Map 1 – Landowners represented at pitching sessions](#)) and 11 agencies and service providers:

- Environment Protection Authority (EPA) Victoria
- Greater Western Water
- Homes Victoria
- Melbourne Archdiocese Catholic Schools
- Melbourne Water
- Powercor
- The Department of Education and Training (DET)
- The Department of Environment, Land, Water and Planning (DELWP)
- The Department of Jobs, Precincts and Regions (DJPR)
- The Department of Transport (DoT), and
- Victoria Police.

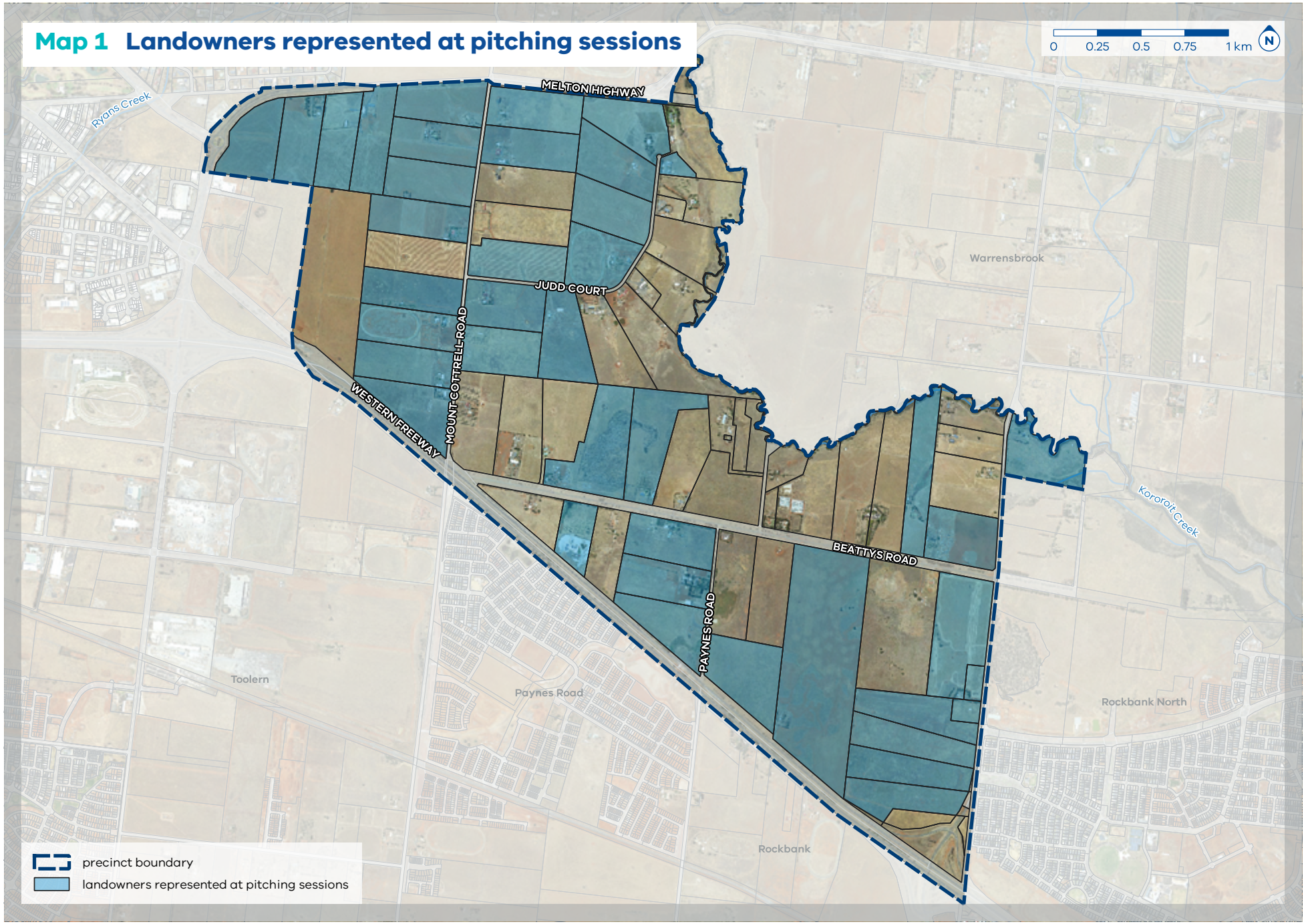
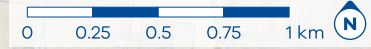
A detailed explanation of the methodology and pitching process is outlined further within the report.



How to read this document

Within each of the four themes, key **ideas and opportunities** are discussed, reflective of comments heard at the pitching sessions. **Further investigation areas** are also identified to help guide ongoing conversations leading into the visioning and co-design workshops.

Commentary regarding key visioning statements has also been summarised to further inform upcoming visioning sessions.

Map 1 Landowners represented at pitching sessions



-  precinct boundary
-  landowners represented at pitching sessions

PSP 2.0 process & PSP Guidelines

PSP 2.0

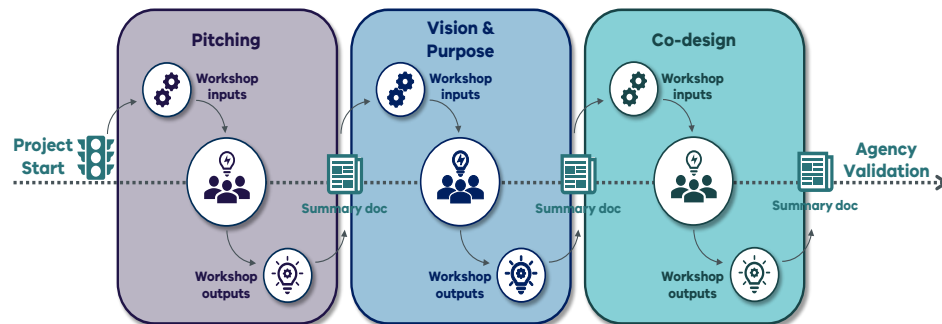
The PSP 2.0 process involves co-designing the PSP with key stakeholders through a series of structured engagement components (Figure 1). The main engagement components of the PSP 2.0 process are:

- Pitching sessions
- Vision and purpose workshop
- Co-design.

Each stage of the process works together to gradually build and produce a draft PSP that will be taken through agency validation, and on to public exhibition.

Stakeholders are involved in a clear, transparent and inclusive consultation program. Completion of the first phase, Pitching, signals the building of a shared understanding of the precinct, the PSP process and validation of key issues.

Figure 1 PSP workshop process overview



Precinct Structure Planning Guidelines: New Communities

The VPA's [Precinct Structure Planning Guidelines: New Communities in Victoria](#) (the Guidelines) was released in November 2021 with the purpose of providing a framework with clear purpose, pathways and practical guidance for preparing precinct structure plans.

The Guidelines are centred around the 20-minute neighbourhood principle, advocating for living locally, focussing on achieving quality place-based outcomes, while also being flexible, responsive and supportive of innovation.

The Guidelines raise the bar for planning outcomes in Victoria's new communities by setting a series of new targets. These include:

- Residential density and diversity around town centres, community facilities and key natural features to make our new communities more walkable and improve housing choice and affordability
- Sustainability measures including a target for 30 per cent tree canopy coverage in the public realm and open space, and a commitment to integrated water management
- Greater recognition of the value of Aboriginal heritage in plan-making, and a commitment to improved processes for collaboration with Traditional Owners
- Supporting and informing better infrastructure coordination to enable smarter infrastructure investment and an integrated approach to the post-plan delivery of infrastructure and services by councils, utilities and state agencies.

These principles will be considered in the ultimate preparation of the Melton East PSP.



Pitching session process

Pitching sessions are the first step in developing a shared understanding of the issues, challenges, and opportunities that will shape the development of the PSP. They are an opportunity to discuss the aspirations for individual landholdings as well as the broader PSP. Pitching sessions also allow an opportunity for referral authorities to present any relevant background information and policy that will need to be considered when preparing the PSP.

Key purposes of the Melton East PSP pitching sessions included facilitating early stakeholder input, developing a shared understanding of key issues and opportunities and identifying emerging themes.

The VPA notes that all the views and ideas presented in this document were presented to the VPA for consideration in future processes and are not final.

Methodology

To ensure an efficient and collaborative pitching process, a ‘minutes’ template unique to Melton East was developed to record issues, opportunities, aspirations and key themes.

Across four days in March (21, 22, 24 and 28 March) members of VPA, Melton Council planning staff and the consultant team met online and undertook individual meetings with each participant via Microsoft Teams for periods of 30 and 60 minutes. Longer timeframes were afforded to larger parcels and major government stakeholders.

Landowners and developers pitched their ideas and some prepared a short presentation summarising their ambitions for their landholdings, the project area, and what they would like to see enabled through the PSP process.

Government agencies articulated any policy ‘bottom-lines’, existing or planned projects that may affect the PSP.

Following conclusion of the Pitching Sessions, formal minutes were emailed to participants to ensure their pitch was captured accurately and in its entirety. The confirmed minutes form the foundation of this summary document and the emerging themes.

The summary document also provides a record of the work that was completed, effectively ‘closing the loop’ on the pitching phase and providing the basis of the work to be completed in the next component.

Figure 2 Pitching phase process



Site context

Melton East PSP is located within the City of Melton, approximately 4.5km to the east of Melton township and 35km to the west of Melbourne CBD. A number of completed PSPs, including Melton North, Toolern, Rockbank and Rockbank North surround the site, resulting in the PSP being considered an ‘infill’ PSP within a growth corridor setting.

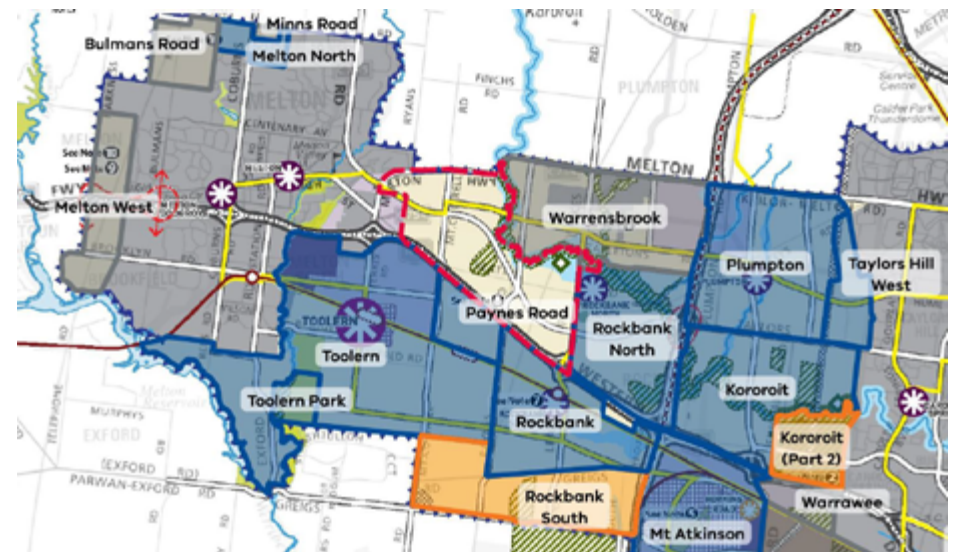
The site is approximately 1,005 ha in area with the following features:

- Relatively flat with minimal undulation across the body of the site. Some steep sections are found adjacent to the Kororoit Creek.
- A central Biodiversity Conservation Strategy (BCS) conservation area protecting key Growling Grass Frog habitat extending from Kororoit Creek. Small patches of scattered trees are also identified across the site.
- Complex drainage catchments to the southwest which need to be considered in the ongoing design of the Melton East PSP.
- An integrated road network supporting Melton Highway to the north, Western Freeway to the south and Leakes Road to the east. Beattys Road, Mount Cottrell Road and Paynes Road also provide key east–west, north–south connections which should be reconsidered in light of the Growth Corridor Plan indications.
- Surrounding PSPs provide an existing network of open space, schools and community facilities. Activity Centres are also located in surrounding PSPs with the Toolern Principal Town Centre 1.5km to the south–west, Rockbank North and Rockbank Major Town Centres approximately 1km to the east and south–east. Employment areas are also located to the west and east of the site.

Due to the site’s location adjacent to the Kororoit Creek, and ability to access established public transport routes and services within Melton town centre, there may be innovative opportunities for a PSP focused on promoting sustainable development.

The liveability and resilience of our growth areas has never been more important with the rapid changes through COVID-19 and post-COVID-19 strategic planning, as well as natural population growth and other influences such as climate change. There is a clear focus for the VPA on implementing a locally responsive, innovative, and strategic growth area planning process through the new PSP 2.0 that integrates community sentiment and engagement into a ‘road-map’ for the future.

Figure 3 Surrounding PSP context



Emerging vision

Melton East PSP has been clearly identified as the ***missing piece of the puzzle*** in the Melton area of the Western Growth Corridor. As a residential PSP, the precinct will support the surrounding employment and industrial centres and PSPs.

Many stakeholders presented their own visions of Melton East, the following key principles and aspirations were captured and highlight the unique elements Melton East PSP can exhibit:

- 1 Lively, diverse and engaged community
- 2 Focus on Kororoit Creek and Beattys Road Wetland, the role of water, and biodiversity values
- 3 Celebration of Indigenous and Post-Settlement heritage
- 4 Emphasis on a climate resilient and sustainable community
- 5 Connecting link to surrounding precincts and road networks
- 6 Provide housing diversity for a culturally and socially diverse community
- 7 Sufficient educational and community facilities to support local living
- 8 Flexible and adaptable activity centres that enable local employment.

THEME 1 Access & movement

This theme discusses the opportunities and issues presented relating to the road network, public transport, active transport and movement connectivity from outside and within Melton East PSP

Ideas and opportunities discussed

There is a strong opportunity for Melton East PSP to provide **quality active transport routes** throughout the precinct that connect to surrounding PSPs.

Landowners, developers and Melton City Council agree that the **walking and cycling network** is a vital aspect to deliver.

A **well-connected network** will link the community to activity centres, open space reserves and Kororoit Creek. This will also help reduce high car dependency within the precinct. There is further opportunity here to review established guidelines and generate better cross-sections which promote safe alternate forms of transport, and also considers canopy tree planting along road corridors.

Located north of the railway corridor, the PSP can provide **bus-capable roads** and establish a bus route connecting to train stations, Melton activity centre and active transport paths. A **community bus** was also suggested to provide services to residents during the first stages of development.

Melton City Council is supportive of a one-mile grid road network and would like to **use existing road reserves** as much as possible for early development of the road network. They are also supportive of the orderly delivery of roads to align with the current residential development to the east of PSP area. There is also opportunity to offer interim options to ensure **east-west connectivity**.

The West Growth Corridor Plan highlights Taylors Road as an east-west arterial road. The current alignment depicts the road dissecting the conservation area at the centre of the precinct. The arterial road is required to relieve traffic from Western Freeway and Melton Highway and connect Rockbank PSP to Melton Centre.

A number of parties discussed the opportunity of Taylors Road being constructed as an ultimate six-lane road, and to be located outside of the central wetland conservation area to avoid the entire Biodiversity Conservation Strategy corridor. Further investigations are required to determine an alignment.

The following considerations for the east-west arterial were also presented by stakeholders:

- Connect to Federation Drive in the north-west of the PSP
- Act as an interface between residential and industrial land
- Be delivered early in the development process
- Use section of the existing and significantly wider Beattys Road reserve.

The Department of Transport's (DoT) Movement and Place Policy suggests that arterial roads should avoid servicing high amenity areas and should not directly interface activity centres. This is to provide a **safe environment for pedestrians and avoid conflicting road priorities**.

Some of the pitches noted that the West Growth Corridor Plan presented the opportunity for access into the precinct from Mount Cottrell Road and Paynes Road. Both roads provide good **north-south connectivity** through the PSP to accommodate future traffic and providing access to Rockbank and Cobblebank train stations. Although subject to further investigations, Leakes Road may also be a suitable main entry point to Melton East PSP development. The north-south road will also provide good access to Western Freeway.

Opportunities presented for Beattys Road included:

- An east–west connector road that connects to High Street in the west of the PSP. High Street currently stops before Mount Cottrell Road
- Provide local access to Melton township and Woodlea estate
- Provide a high-quality walking and cycling route on the wide road reserve that can connect to the active transport corridor on this alignment in the Plumpton PSP.

Opportunities presented for Judd Court included:

- Another potential entry into the estate
- May be decommissioned and become developable land or a green link
- Or opportunity for the road to be preserved and extended north to Melton Highway for local access

A **variety of bridges** are required for arterial and connector roads, and to accommodate active and public transport. Bridge locations can be mapped in consultation with Wurundjeri people to locate areas of high and low cultural density.

Further investigation required

DoT and VPA are currently investigating the alignment options for the east–west arterial, what roads in surrounding precincts will it connect to, and if the road will connect residential areas or connect town centres.

DoT is currently investigating several interface projects that may have implications on the PSP, including:

- Alignment of Melton Highway creek crossing at Kororoit Creek
- Western Rail Plan to provide additional capacity along the Melton Corridor
- Bus priority routes and intersections that will require upgrades
- Western Freeway Strategy.

THEME 2 People & places

This theme discusses the opportunities and issues presented relating to neighbourhood character, community spaces, activity centres and cultural heritage within Melton East PSP



Ideas and opportunities discussed

Melton has experienced strong population growth over the last decade, particularly within the last five years.

The forecasted demographics of the future Melton East PSP area is likely represented by **residents in the 25–49 age group**, and a strong presence of **young couples and families**. It is predicted that the PSP will rely heavily on internal migration from surrounding areas to support growth and will attract migrant families to form a **multicultural community**.

1 Housing

Melton East PSP is expected to support an **estimated 13,000 dwellings** with the opportunity to **distribute higher intensity development across the precinct** in areas of natural amenity. Development would follow the natural landform, topography, waterways and existing land uses to form the basis of the future neighbourhood structure.

There was overall positive support for the higher density aspirations of the PSP 2.0 Guidelines, **above 20 dwellings per hectare**. This included proposals of medium density within a standard residential estate, and high-density development with the walkable catchment of town centres and along transport corridors. The higher housing density guidelines will help increase **social diversity and housing affordability** within the PSP.

Developers were motivated to share their visions of **various sizes and diverse housing typologies** and **quality urban design outcomes**. Many presented residential concepts that included landscaped open spaces, providing creek and wetland views, walkable neighbourhoods, and entry 'gateways' into the precinct. Opportunities for landowners and developers to work together to minimise land fragmentation were discussed.

There is opportunity for collaborative work between developers, state agencies and Melton City Council to better enable **affordable housing**.

Homes Victoria recognises the social housing gap in greenfield areas, and proposes **two housing typologies for social housing**: detached 3–4 bedroom dwellings and smaller 1–2 bedroom (apartment) dwellings. There is potential for **innovative designs** and approaches for apartment buildings, especially around the activity centres. Homes Victoria will work with the community housing sector and developers to deliver the housing. As purchasers, they will consider amenities, proximity to activity centres, transport, build quality, sustainable and good quality developments.

Residents and landowners have also expressed the desire for the future PSP to promote **wellness and sustainable living** for everyone, potentially providing the following residential opportunities:

- NDIS community housing and facilities for people with disabilities, including living quarters, a cafeteria, sport and rehab centres
- Affordable and comfortable retirement living
- Crisis and emergency housing for those experiencing homelessness
- Accommodation for front-line health care workers (nurses and doctors) in close proximity to the future Melton Hospital

There is opportunity to improve the interface with the Western Plains North Green Wedge and Melton Highway along the PSP's northwest boundary. The major highway forms a key boundary between urban and rural areas. Melton City Council propose to include a **generous landscaped area** to the Green Wedge Zone and PSP area.

Developers propose a conventional medium density development along this interface to assist in the transition of development/density from the south of PSP to the north and Green Wedge Zone.

2 Heritage

Cultural heritage values have been identified as an important element to retain, specifically along Kororoit Creek and wetlands. Landowners were eager to **integrate post-contact and Aboriginal cultural heritage values** into the planning and design of the space. It was acknowledged that **continuous engagement with the Wurundjeri people** is required to identify areas of cultural significance.

These places of cultural heritage significance should be protected and celebrated. Melton City Council suggest that Melton East PSP adopt relevant requirements, guidelines and cross-sections from the surrounding Plumpton, Kororoit and Mt Atkinson PSPs to achieve this objective.

Identified European heritage included a bluestone cottage, Edwardian house and Victorian cottage, and 'The Selection Wall' – a drystone wall in the southeast of the PSP. The precinct could **implement adaptive re-use strategies** and **incorporate heritage buildings into the conservation reserve**.

Responsive landscaping in the precinct can:

- Draw on the history of Melton East
- Limit the number of roads through the drystone wall
- Potentially be retained in a linear open space reserve.



3 Open space

With a heavy focus on the creek and nature, there was a strong desire to have **connected open space areas, walking/hiking and cycling trails, green links and pocket parks** throughout the PSP between residential precincts, and recreational, passive or active open space located adjacent to Kororoit Creek.

Melton City Council has used provision ratios in its open space strategy and proposes to co-locate district and regional open space. Council has proposed the following:

- 52 hectares of district active open space (1.3 hectares per 1,000 people)
- 30 hectares of regional active open space
- 18 hectares of active open space performing a dual role of district and regional open space
- 36 hectares of passive open space (24 hectares local + 12 hectares district).

4 Community facilities

Current residents and developers have expressed their wishes to have a **lively and engaged community** in Melton East PSP. Some ideas presented included a drive-in cinema, weekly community market and a wellness centre. Melton City Council has also expressed its intention to include **two Level 1 and two Level 2 council community centres**. The Woodlea estate in adjacent Rockbank North PSP was also acknowledged as a successful community-oriented development, and landowners have expressed that Melton East PSP could provide a similar atmosphere.



5 Activity centres

The PSP is proposed to be a predominantly residential PSP supporting local activity centres. Key employment areas are located to the east and west of the PSP within the Melton Town Centre and future Plumpton Industrial Estate.

To support an estimated population of over 40,000 people across the Melton East PSP, a number of pitchers identified the need for at least two activities centres. Several locations were presented by landowners and developers that offered various catchment sizes and commercial opportunities.

The following potential locations were suggested:

- **Mount Cottrell Road** – continuing network of neighbourhood centres along the road south of Melton East.
- **Western Freeway and Paynes Road** – a significant interchange/overpass, corner parcel not ideal for open space or residential.
- **Leakes Road** – entire road as possibly commercial or semi-commercial including big-box retailers.

Characteristics of proposed town centres raised in the pitching sessions included:

- Being larger and flexible to maximise 20-minute neighbourhood and local employment opportunities
- Locate and design mixed use residential and employment areas to ensure access to public transport, local community and retail services, and open space
- Adapt to modern live, play and work lifestyle especially post-COVID-19
- Ability to accommodate shared offices, office hubs, private, community and council uses
- Have zoning flexibility to adapt to the market
- Provide all types of retail as a one-stop shop for all members of the community

Early activation of town centres should be supported in the development process in order to support the delivery of residential development and creation of a supported and successful community.

The future Melton Hospital will be located outside, yet in close proximity to, the Melton East PSP. Activity centres within the PSP will serve as a major retail base for future employees of the hospital.

6 Education centres

Indicative population scenarios based on updated PSP density guidelines have indicated that at least **two non-government primary schools** are required within Melton East PSP to cater for the future population together with accommodating surplus students from nearby St Dominic's Primary School in Melton.

The Department of Education and Training (DET) and Melton City Council propose, based on current early dwelling projections, there is likely to be **four to six government primary schools, one or two government secondary schools** and the opportunity for **one specialist school** to be co-located with a government primary or secondary school to support students with disability. In line with State Government direction, kindergartens will be co-located with all new government primary schools.

Further investigation required

- Final confirmation of the required number of school sites is required. With an increased land take for non-residential uses such as schools, the likely residential yield within Melton East will be reduced. The balance between expected yield and community facilities needs to be assessed and confirmed in light of the proposed demographics and the desire to create a vibrant, community oriented residential area.
- The location of the proposed government and non-government primary and secondary schools will need to be confirmed. These will be determined in accordance with set guidelines and land take requirements from the following documents:
 - *Victorian Government School Site Selection Criteria* (Department of Education and Training, 2021). Next update in August 2022
 - *Catholic Schools Site Selection Criteria Guidelines* (Melbourne Archdiocese Catholic School, 2022).

Sites should also be evenly dispersed throughout the precinct in order to address any access gaps between existing and planned schools in the surrounding catchment.

- Melton East PSP may also be a suitable location for additional TAFE/university provision. This will be discussed further between VPA and DET. There is also opportunity to explore interim sites for temporary schools if development delivery is delayed.
- The locations of open spaces and reserves are to be confirmed and will take into consideration the following:
 - Waterways, retarding basins and drainage reserves
 - Optimise the provision of sporting facilities that maximise multiple uses
 - Co-location built infrastructure within reserves
 - Catchment of 400 metre walking distance to residential precincts
 - Recognise existing character of land and topography.

- The total number and size of town centres are to be confirmed, in addition to investigating potential locations. In general, as a residential PSP, Melton East may not contain significant retail due to neighbouring industrial and commercial areas in surrounding PSPs. The north-west of the PSP may be a potential location for commercial land, next to the regionally-significant industrial interface of Melton township.
- The locations of higher density dwellings are to be confirmed based on the location of town centres and future transport corridors. The VPA will undertake this analysis, as per the PSP guidelines, through the implementation of an Amenity Based Density Model which will guide density to key locations, aligned with the PSP structure. VPA with council will need to investigate the early delivery of public transport infrastructure and higher housing design standards to support this density.
- The VPA and relevant authorities will need to confirm if any buffers are required and to minimise potential environmental impacts on residential areas from the surrounding major arterial roads and industrial/commercial land use.
- Identify suitable objectives, requirements, guidelines and cross-sections from surrounding PSPs that are suitable to adopt and adapt regarding neighbourhood character and the treatment of sensitive interfaces. Residential development is likely to be adjacent to the following interfaces:
 - North-eastern boundary: Green Wedge Zone and Melton Highway
 - Southern boundary: Western Freeway
 - Eastern boundary: Aintree major town centre and Woodlea residential estate
 - Northern western boundary: Kororoit creek/conservation area
 - Melton township and Toolern PSP boundary: Industrial estate
- Due to the large scale of the PSP, timing and delivery of the overall PSP will need to be communicated appropriately to all stakeholders and ensure staging is planned to accommodate essential community infrastructure.

THEME 3 Servicing & utilities

This theme discusses the opportunities and issues presented regarding sewerage, water drainage, gas, electricity and NBN within Melton East PSP

Ideas and opportunities discussed

Melton East PSP provides a link between Melton and Rockbank and the opportunity to start **using existing potable water, sewer, gas, electricity and communication headworks** and **connecting nearby infrastructure and services**. Existing headworks are located along the periphery of the site with opportunities for connections into Melton East. Opportunities to minimise freeway crossings should also be considered.

1 Potable water

Potable water will be provided to the future residential estate.

- **Class A Recycled Water Main**, located between Thornhill Park and Aintree, will not likely be available for residential use.
- **Class B Recycled Water Main** will be provided as irrigation to passive and active open space areas within the PSP, as well as schools and to irrigate the regional park.

2 Sewer

It is expected that most of the catchment can drain to the east by gravity. Major sewerage infrastructure is planned along Beattys Road.

3 Stormwater and drainage

The PSP is covered by two Development Services Scheme (DSS) areas – 4174 DSS High Street Melton and 4140 DSS Kororoit Creek Upper. A culvert outfall servicing the Shogaki Drive DSS (Paynes Road PSP) has been partially constructed and planning is underway for the culvert outfall from Iramoo Circuit DSS (Rockbank PSP).

Surrounding upstream infrastructure has already been constructed however new and/or additional infrastructure may be required. Paynes Road DSS is fed by several precincts and requires an outfall within Melton East.

Two significant wetlands and green–blue networks for both ecological and drainage servicing will be provided and is an opportunity to integrate design into community outcomes.

Twelve retarding basins are identified in the Melton East PSP to transfer to Melton Reservoir. A number of opportunities exist for the water to be used for purposes other than irrigation. Melbourne Water has advised that they will work with Greater Western Water, VPA and Melton City Council to achieve Healthy Waterways targets and meet EPA requirements.

4 Electricity

Powercor has advised that all existing power lines will be retained. The existing electrical infrastructure will require extension and augmentation to supply new developments as all feeders are currently reaching their limit and capacity. New underground assets can be installed within the development precinct at each developer's request.

Powercor also notes that electrical vehicles will require charging ports, as solar panels cannot be fully relied upon. Charging stations (fast chargers) at shopping centres and public carparks will also add demand for electrical supply.

5 National Broadband Network (NBN)

Residents currently do not have access to fast and reliable internet. As a modern precinct, this should be provided within the early stages of development.



Further investigation required

- Clarification of key drainage assets and infrastructure must be provided including land area and infrastructure requirements.
- Development staging needs to be confirmed and planned to accommodate essential community infrastructure. Preliminary advice is to commence in the east of the PSP and move west.
- Consider encumbered land required for service infrastructure as an opportunity for recreation and amenity.
- Consideration needs to be given to the significant widening of Leakes Road to accommodate Greater Western Water pipe infrastructure and street trees – may need a special cross section.
- Determine the extent of existing values (i.e. biodiversity and cultural heritage) within the mapped wetland features to the south of Beattys Road, and how these features may be represented within the future urban structure. This will determine the layout and land-take of the preferred drainage servicing strategy.
- Transport network and alignment of major roads will heavily influence the alignment of constructed waterways and major drainage infrastructure. These networks need to be confirmed.
- Further discussion required to understand the current and potential value of the proposed central wetland conservation area and determining a strategy for continuous protection and enhancement of the space. Confirmation of the size, extent of community engagement space, possibility of an educational discovery centre and wetland protection requirements also need to be investigated.
- The main outfall for the Kororoit Creek Upper DSS and the catchments to the south will likely be under construction or constructed prior to the gazettal of the Melton East PSP. As the design of this constructed waterway is yet to be finalised, there is still some flexibility to investigate and confirm a final design in partnership with the VPA.

THEME 4 Environment & sustainability

This theme discusses the opportunities and issues presented regarding land, water, biodiversity, vegetation and sustainable practices within Melton East PSP

Ideas and opportunities discussed

The land, currently used for farming, has been identified as rich, and suitable for local produce and vegetable farms by current residents.

Many landowners and developers expressed interest in retaining as much of the existing natural environment as possible, including significant native vegetation, established trees and protecting the Kororoit Creek corridor and native wildlife. They spoke of **preserving and enhancing existing natural features** to unlock greater amenity in the future Melton East PSP.

With the focus on water and environment in the PSP, the **wetland conservation area** can provide an opportunity to **integrate nature and urban water management**. There may be different treatment approaches to this area, however it is agreed that **collaborative engagement** with DELWP's Melbourne Strategic Assessment (MSA), Melton City Council, Wurundjeri people, community and education groups is required to proceed.



1 Wetlands & retarding basins

Kororoit Creek and water have been highlighted throughout the pitching sessions as the 'lifeblood' and local character of the PSP. In conjunction with the centralised conservation area, water drainage features could be diversified across the entire precinct and form a collection of linear parks. The central wetland is proposed to enhance the conservation area and parkland areas, providing opportunities to incorporate an education/discovery centre, and passive recreation. Retarding basins and wetlands have been proposed to be located in undevelopable land.

DELWP MSA confirmed that Conservation Area 15 runs along Kororoit Creek and extends into the centre of the precinct and is identified as a protection corridor for the Growling Grass Frog and the location of future wetlands. These wetlands will **provide and protect Growling Grass Frog habitat and biodiversity values**, facilitating connectivity and movement between metapopulation nodes. The Growling Grass Frog wetlands have been proposed to receive stormwater and ground water and connect to surrounding stormwater wetlands. Integrated as a key focus of Melton East, these **Growling Grass Frog wetlands can contribute to the community open space network** and serve to educate the public on Growling Grass Frog habitats.

2 Stormwater

Green harvested stormwater systems could be incorporated within the Melton East PSP to address Melbourne Water's *Healthy Waterways Strategy*. Kororoit Creek is a priority catchment as part of this strategy and up to 70% volume reductions are needed to meet the strategy's intent. Melton City Council are supportive of the scheme to harvest significant amounts of water from the PSP area and be sent to Melton Reservoir.

In collaboration with the VPA, Melbourne Water hopes to develop an industry leading **integrated water management strategy (IWMS)** for Melton East PSP. Endorsed IWMS Forum targets should be maximised or met where applicable to see higher water efficiency in future residential development. Developers have strongly expressed that **recycled water** should form part of any IWMS for the precinct as an alternate supply of water, such as for open space irrigation. Further partnership between developers and authorities will be required to explore issues.

3 Tree canopies

To increase liveability of the PSP, **tree canopies should be maximised** in line with PSP guidelines. There is opportunity for the PSP to investigate ways to achieve canopy cover targets and mitigate urban heat island effects through smarter water management techniques and use of technology. The design of arterials as boulevards with rear access, and urban design guidelines for the private realm are also possible tactics to achieve canopy targets.

4 Hydrogen gas

Melton East is proposed to be a Climate Resilient Precinct.

To incorporate **renewable hydrogen gas** into precincts within Melton East enables more sustainable energy sources to be used and reduces the reliance on fossil fuels. If successfully implemented, it has the potential to provide clean power for manufacturing, transportation, and more infrastructure in the community.

BP, which has a site in Melton East, expressed interest in hydrogen for commercial use. Options for use included storing and retailing hydrogen gas, sold in the way fuel is currently, or to produce hydrogen gas on site. Australian Gas Infrastructure Group (AGIG) has expressed an interest in financing the full scope of work.



Further investigation required

- Investigate the opportunity of a discovery centre to be located at the wetland conservation area and provide a multi-purpose space. This space could be planned by the Wurundjeri people, DELWP and Melton City Council in joint partnership, and educate the local community on environmental values, water conservation, sustainability and the cultural history of the land which Melton East PSP will be situated on.
- The exact locations of the wetlands are to be confirmed. DELWP and state agencies are determining the number of road crossings and bridges over wetland nodes. These roads and associated infrastructure will also need to align with the Growling Grass Frog Crossing Design Standards.
- Flooding issues along the creek and within the PSP will need to be resolved. It is understood that lots south of Melton Freeway are affected by flooding issues and require Melton East PSP to commence in order to unlock this area and provide drainage. Optimal hydrology post development will also need to be maintained.
- Landowners and developers were not aware of any soil contamination and the VPA is currently undertaking testing of the entire precinct. The EPA has provided initial comments regarding potential contamination from agricultural activities including fuel storage tanks or stockyards, commercial use of pesticides (including herbicides etc.), biosolids application to land and farm waste disposal.
- The EPA has identified the proximity to two major roads, Western Freeway and Melton Highway, may impact on future noise sensitive uses. They have advised any acoustic assessment to inform the preparation of the draft Melton East PSP and draft planning controls (i.e., design solutions to minimise the impacts of noise risks) must be conducted in accordance with the new noise protocols.
- The VPA will be undertaking a Climate Resilience Assessment for the precinct which is looking specifically at the climate related risks for the Melton East PSP area and how the PSP might respond to those risks through location of key infrastructure, design requirements and how we can best integrate with other agency inputs.
- Further discussion required to understand the current and potential value of the proposed wetland conservation area and determining a strategy for continuous protection and enhancement of the space. Confirmation of the size, extent of community engagement space, possibility of an educational discovery centre and wetland protection requirements also need to be investigated.
- Need to further understand how the use of hydrogen gas could be implemented, and if there are any buffer requirements especially surrounding residential areas.

Melton East's key aspirations



Emphasis on a climate-resilient & sustainable community

Provide housing diversity for a culturally & socially diverse community



Sufficient educational & community facilities to support local living

Focus on Kororoit Creek and Beattys Road wetland, the role of water & biodiversity values



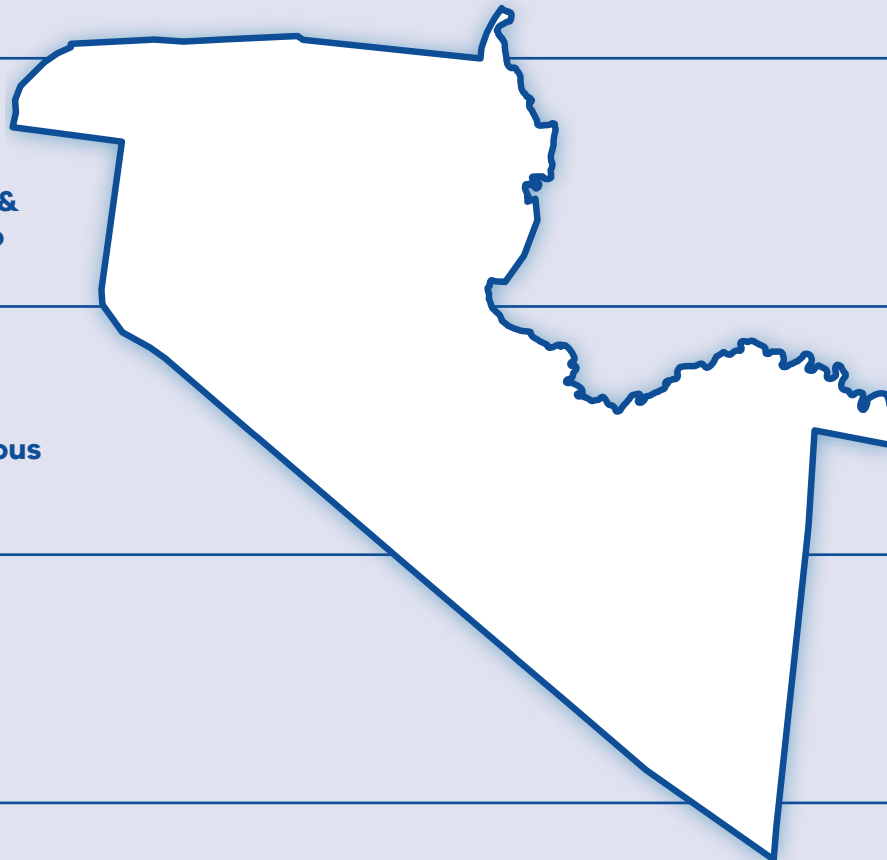
Celebration of Indigenous and post-settlement heritage

Connecting links to surrounding precincts & road networks



A lively, diverse and engaged community

Flexible and adaptable activity centres that enable local employment



Next steps

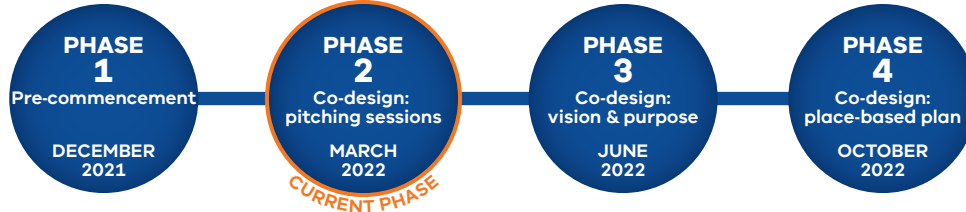
Vision and purpose workshop

The next step in the PSP process is the **vision and purpose workshop** phase. The workshop will be held either online or in-person and will run for approximately 2–3 hours. All stakeholders are invited to attend.

The purpose of the workshop is to discuss and provide feedback on the initial themes presented in the pitching sessions. The workshop will include interactive activities to identify key spatial planning objectives and validate and develop the PSP vision and emerging themes.

PSP 2.0 timeline

The below timeline provides a high-level overview of the broader Melton East PSP program.



PSP 2.0

VICTORIA
State
Government

NICHE
— PLANNING —
STUDIO

vpa
Victorian Planning Authority