

**PLAN / DOCUMENT AS REQUIRED UNDER CONDITION OF PERMIT  
PLANNING AND ENVIRONMENT ACT 1987  
WYNDHAM PLANNING SCHEME**

**Permit No: WYP12412/20.02**

**Condition No: 3**

**Sheet: 1 of 16**

**Approved by: Kun Ho Seo**

**WYNDHAM CITY COUNCIL**

**Date: 15 December 2021**

# WINTERSET

## LODGE ESTATE

## Residential Design Guidelines



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# 01. Overview

Be a part of the growth at the Winterset Lodge Estate, located a comfortable 45 minute drive to Melbourne's CBD and a 5 minute drive to nearby Manor Lakes. Here, a selection of shops and amenities are on offer including schools, cafes, restaurants and the renowned Manor Lakes Central Shopping Centre. All this is surrounded by natural beauty and country charm and presents an extraordinary opportunity to enjoy the best of a much sought after lifestyle, far enough from the frenetic pace of the city but close enough to enjoy the best of what both worlds offer.

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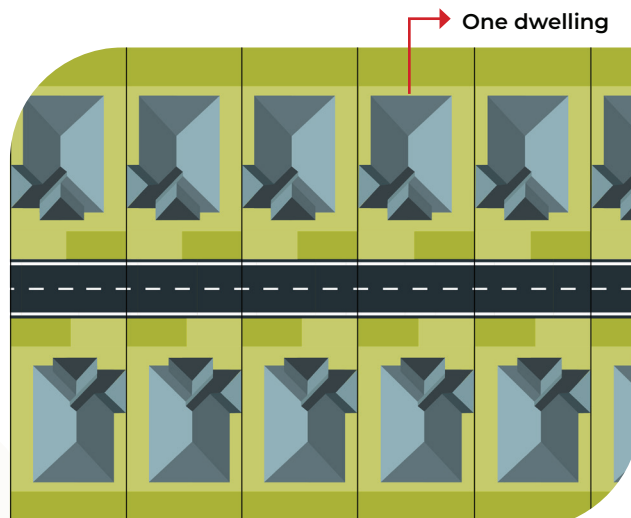


# 02. Purpose

How the Winterset Lodge Estate is designed and built will determine the enjoyment and ease of living experienced by its residents. It will also affect the overall value and growth of the development as a whole in the immediate future and long term. As such, these design guidelines provide quality standards to ensure a high calibre of design and amenity for all residents, whilst minimising environmental impacts, enhancing the surrounding natural landscape and ultimately, sustaining the value of each home.

# 03. Allowable Land

The vision of the Winterset Lodge Estate is one of an open space neighbourhood with room to move and places to congregate. As such, the subdivision of any lot is prohibited and only one dwelling is permitted per lot. Lots under 300m2 are to comply with the Small Lot Housing Code however where this code contradicts a Design Guideline, the Small Lot Housing Code will take precedence. Relocatable homes are not permitted. Dual occupancy lots are prohibited.





## 04. Construction Time

Construction of the home must commence within 12 months of settlement and completed within 24 months of settlement.

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## 05. The Design Review Panel

The Design Review Panel provides expert advice and assessment of building proposals to ensure quality design principles are set and adhered to. This is for the benefit of the development as a whole as well as each individual lot and resident. These Design Guidelines may be amended from time to time and the DRP reserve the right to vary any requirements. This will not set a precedent and any such variation is at their discretion.

Every house plan must be approved by the DRP prior to applying for a building permit and prior to construction commencing. Applications will be assessed against these Design Guidelines only and will not include local, state or federal laws or any building codes or standards administered by them.

### The Process

#### 1 Step 1

Review these guidelines with your architect and builder to ensure all requirements are met.

#### 2 Step 2

Submit your application to the Winterset Design Review Panel.

Submission are to include:

- Architectural drawings (Site, Floor & Elevation plans)
- External Colour Schedule

#### 3 Step 3

The DRP will review your submission in accordance with these guidelines.

#### 4 Step 4

If required, plans are amended and re- submitted for design approval

#### 5 Step 5

Approval Granted by the DRP. A building permit can then be obtained and construction commenced.

Submissions can be sent via the website [www.winterset.com.au](http://www.winterset.com.au)

## 06. Dwelling Size

- For lots less than 300m<sup>2</sup>, there is no minimum ground floor area.
- For lots between 300m<sup>2</sup> - 450m<sup>2</sup>, the minimum ground floor area is 120m<sup>2</sup> - excluding garage, porch, verandah, pergola, balcony or alfresco areas.
- For lots greater than 450m<sup>2</sup>, the minimum ground floor area is 150m<sup>2</sup> - excluding garage, porch, verandah, pergola, balcony or alfresco areas.

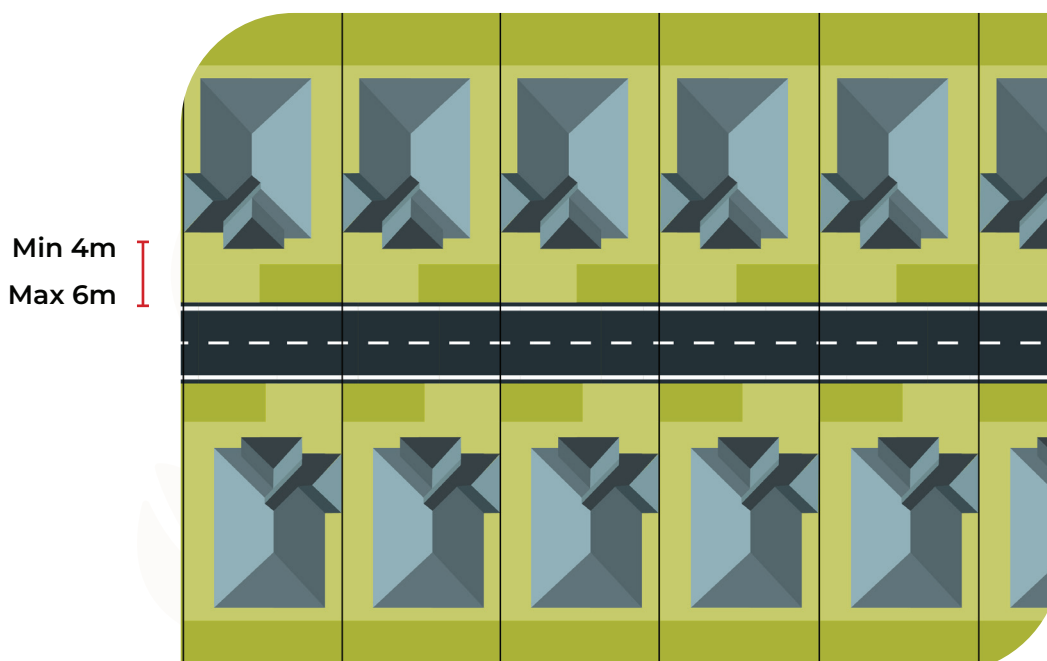
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## 07. Orientation, Siting & Setbacks

Where and how your home is built on a block will not only affect the overall aesthetics but also its liveability. The correct siting and orientation will make your home energy efficient by keeping it warmer in winter, cooler in summer and ultimately reducing your running costs.

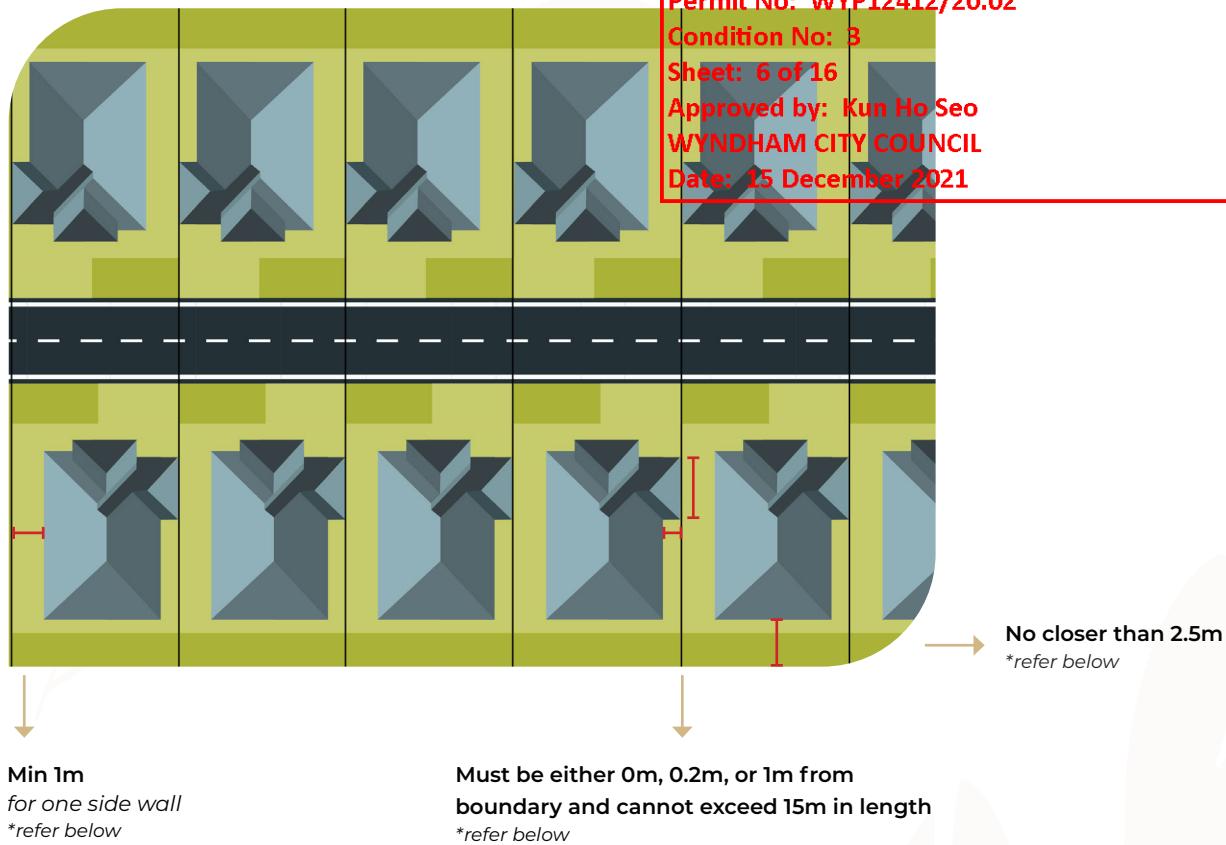
### The front boundaries

The house must be set back a minimum of 4m and maximum of 6m from the front boundary of the lot. Architectural features such as porticos, bay windows, balconies and feature projections may extend into the front set back by up to 1.5m. However no sliding windows or doors are permitted on the front facade. The front façade of dwellings on lots 16m wide or greater must have a minimum of two rooms with windows facing the main street frontage.



# The Side and Rear Boundaries

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- One side of the building must be set back a minimum of 1m with the opposite side (preferably the garage) to be either 0m, 0.2m or 1m from the boundary.
- Walls on boundaries must comply with the Building Regulations and Planning Scheme and are not to exceed 15m in total length, including garage walls.
- Walls on boundaries are encouraged for garages in order to maximize the front garden area.
- Pergolas and sunblinds may extend into side and rear setback areas up to 500 mm
- Corner lots to have a minimum side setback of 2m from the building to the title boundary

## 08. Sustainability

Sustainability is about finding a balance between design, functionality and an ecological commitment both in the immediate future and long-term. Each dwelling at the Winterset Lodge Estate is to be designed to minimize the impact on the environment. This can be done by adhering to the minimum legislative energy efficiency requirements, in addition to the following:

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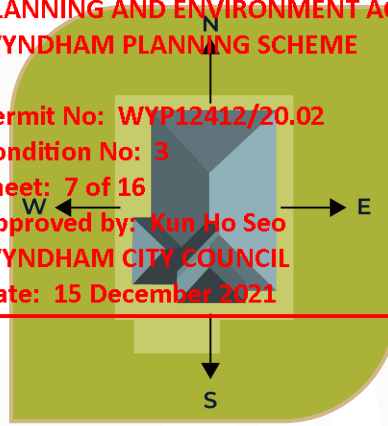
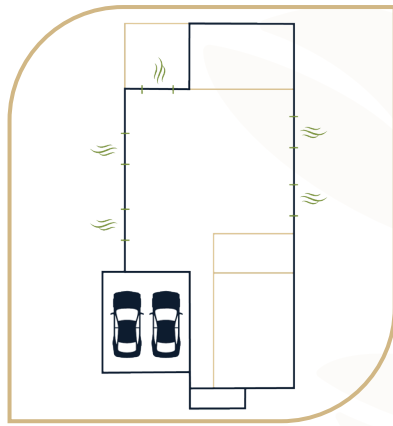
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- Where possible design north-facing living areas.
- Incorporate passive solar heating and cooling into the design of the house by maximising north-facing walls and glazing and provide reasonable shade of north facing windows.
- Minimise glazing to the east and west
- Incorporate eaves in the roof design
- Design your home to create cross-ventilation opportunities
- Allow for large trees and landscaping to provide shade and cooler areas
- Create zones within the home so heating and cooling is provided only where required

## 09. Architectural Style

The Winterset Lodge Estate is one of contemporary style that takes cues from its natural surrounds. As such, stylistic elements of the house are to be in keeping with the guidelines with an emphasis on wellarticulated facades that complement each other. This will provide an interesting yet visually appealing streetscape for the Estate.



The style of the house is to be contemporary. Elements that reference historical styles may be approved at the discretion of the DRP

## 10. Facade Replication

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- The front facade is not to be identical or similar to a façade within 3 lots on the same street adjacent to or directly opposite your lot. This includes buildings constructed, under construction or applications already received by the DRP.

Techniques to vary the facade's appearance include:

- Altering the shape of the facade, using wall articulation, roof shape or by adding features such as gables, verandahs and porches.
- Changing the roof and wall materials.
- Varying the colours of roof materials, wall materials, window frames, window glass and garage doors.
- Modifying the shape, size and placement of elements such as windows, columns and doors.

## 11. Entry Features

Every facade facing a street or park must be at least moderately articulated. This includes:

- Stepping the facade at least 500mm with recessed or projecting upper or lower levels (excluding the garage)
- Adding a structure that gives depth to the façade such as a balcony or porch
- Porticos can not be supported by posts or pillars no less than 250mm x 250mm and to have architectural merit.

## 12. External Colours & Materials

At the Winterset Lodge Estate, colours and materials are to be in neutral muted tones that blend with the environment in an aesthetically pleasing manner. Each house exterior is to have moderate tonal contrast. Very light, very dark or a strong colour contrast is deemed as out of character.



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The front facade is to be constructed of two complementary wall materials. One material is to be prominent and cover a minimum of 20% of the wall area in a material other than brickwork. This may include render, timber, cladding or stacked stone. Wall area above windows and doors must be constructed from the same material as the adjoining wall.

- Downpipes, Gutters and Fascia must be colour coordinated with the remainder of the facade
- Front facades must have no blank wall surfaces larger than 3m by 3m except at the discretion of the DRP.

The following materials are not to be used in any area visible to the public:

- Glass that is reflective, frosted, coloured, stained, lead light or patterned.
- Unpainted metalwork.
- Unpainted cement sheeting.
- Mouldings made from lightweight foam or fibre-reinforced concrete (FRC).
- Infill panels above openings.
- Unscreened stumps.
- Bright colours on walls and roofs, except if used as a highlight colour on the walls, and only with DRP approval.
- Coffered or rectangular relief pattern garage doors.
- Roller shutters over windows and doors where the roller box is visible.
- Plain, stamped or stencilled concrete.
- Painted driveways.
- Gravel driveways.
- Shiny or reflective surfaces on driveways.
- Letterboxes on a single narrow pole.
- Hardieflex cladding or similar.

## 13. Roofing

Roofing of different forms including skillion, Gable or pitched are encouraged. Flat roofs will be reviewed on architectural merit and approved at the discretion of the DRP. Where the roof is pitched it must be a minimum of 22° on a single storey and 20° on a double storey. Lesser pitches will be assessed on architectural merit.

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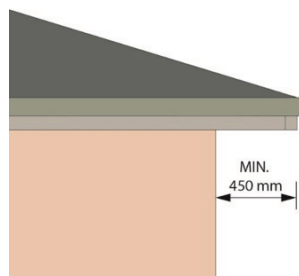
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The material must be prefinished and coloured sheet metal such as Colorbond, slate, concrete or clay tiles.

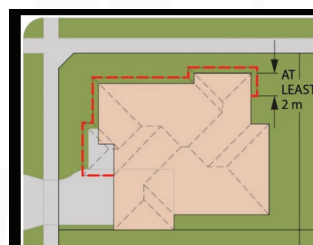


A pitched roof of a single storey house must include eaves at least 450 mm deep on the front façade, except over a garage or where there is a parapet wall. They must return along the sides of the house at least 1 m.



A pitched roof must include eaves at least 450 mm deep on all facades higher than a single storey.

On a corner lot or one adjoining a reserve, a pitched roof must include eaves at least 450 mm deep along any facade facing a secondary street or park.



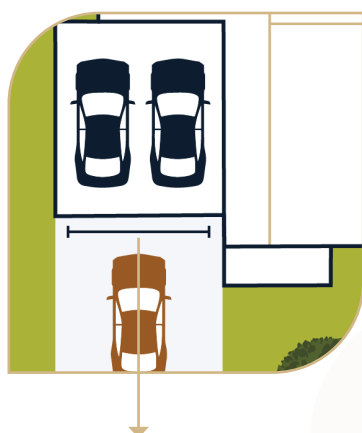
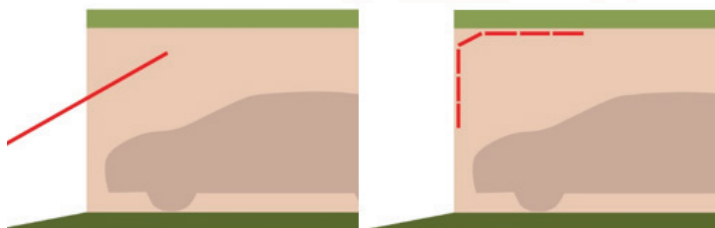
## 14. Vehicle Accommodation

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Each dwelling must have a garage. Carports are not permitted. Garages must be set back a minimum of 500mm from the predominant building line of the home. The predominant building line does not include portico, verandah, or feature projections.

In addition, garages must be set back a minimum of 4.9 metres from the principal street frontage. Garages are encouraged to be constructed under the main roof of the house. If freestanding and visible from the street, they must match the roof form and materials of the house. Ideally positioned at the end of a driveway, a garage should not only be functional but also sympathetic to the facade of the house in both form and materiality. Thoughtful integration of its design will help achieve an optimal outcome for the home.

- Garage doors must be tilting or sectional types in colours that complement the front facade.



Garage door is 40% max opening width of lot

- The opening in the front wall of the garage is to be no wider than 40% of the width of the lot frontage.

- On lots narrower than 12m wide the garage opening must not be wider than 3m.
- The width of the opening is unrestricted if vehicle access is from a laneway.
- The parking of commercial vehicles, recreational vehicles and trailers are to be accommodated in the garage and are not to be visible from the street.

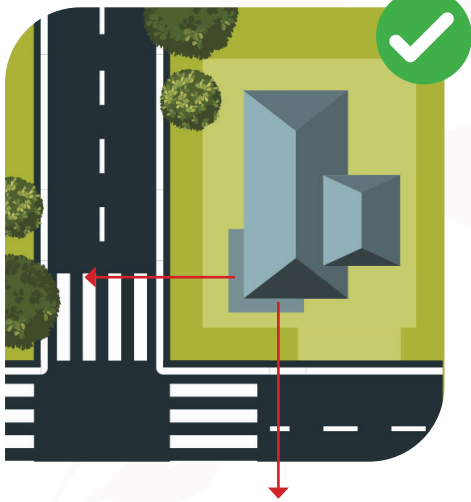
# 15. Corner Treatment

When a home is built on a corner lot, careful consideration must be given to the side elevations as well as the facade, as both will affect the streetscape. This applies to both single and double storey homes in the Winterset Lodge Estate.

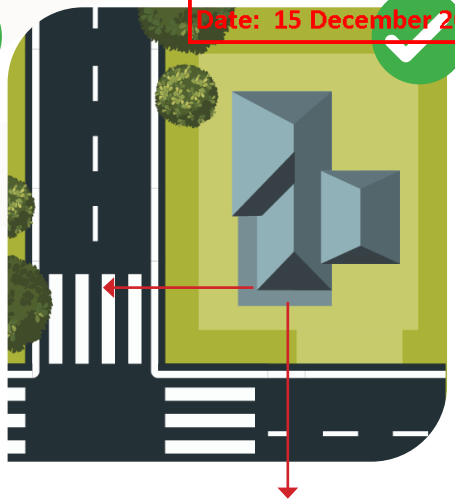
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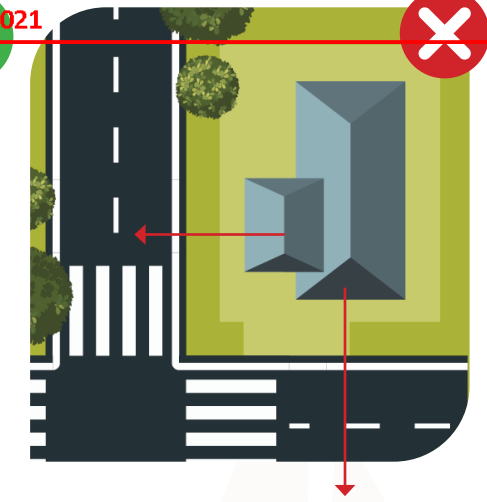
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*A wrap-around verandah  
\*refer below*



*Feature window(s)  
\*refer below*



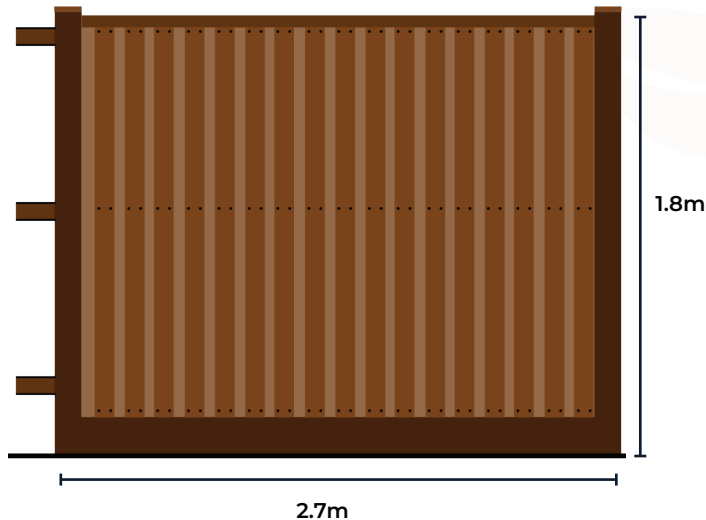
*Blank walls facing side street  
\*refer below*

- Consideration must be given to the side street elevations visible to the public. Both single and double storey dwellings on corners are to be designed incorporating feature elements that address both street frontages the front and secondary facades.
- The side street elevation facing either a corner or reserve must include feature window(s) matching the style of the window(s) on the main facade. Windows alone will not be a satisfactory solution for corner treatment; a design element similar to that used on the primary facade is required to accompany windows. Highlight windows are prohibited.
- Materials used on the facade are required to return along the side street/reserve elevation to meet the fence line.
- Large blank walls facing the side street is not permitted.
- Sliding windows must not be used on side street elevations where they will be visible to the street.
- External services must not be visible from a street or public space

## 16. Fencing

Fences are an integral part of the overall design of a home. The purpose is to not only to provide security and screening but also to enhance the aesthetics of the home and streetscape.

- Side and return fences are to be set back at least 1m behind the approximate building line.



- Side and rear fences are to be made of treated pine timber palings, have a 25mm overlap and be no more than 1.8 m high above natural ground level.
- Treated pine posts and top capping are to be at a maximum 2.7m apart high with 15mm chamfers to the top of the post.

- Retaining walls should not exceed the height of 1m. Sleeper retaining walls visible to the public are prohibited.
- No front fencing is permitted.
- On a corner lot, the fence along the secondary street boundary must extend from the rear corner of the lot no more than 60% of the length of the lot.

## 17. Driveways

- Only one driveway is permitted per lot
- The area between the driveway and the nearest side boundary is to be a garden bed of at least 500 mm wide.
- Driveways must be fully constructed within 30 days of certificate of occupancy being issued.
- At the front of the lot, the width of the driveway must match the width of the cross over.
- The driveway shall be no wider than the total width of the garage opening.
- Crossover relocations are permitted subject to approval from the relevant authority with all expenses to be the lot owners.

- The driveway is to have a matte finish, and be made from: stone, brick, in-situ concrete with an exposed aggregate finish, in-situ concrete coloured with pigment or concrete/clay pavers. These can be honed or split faced. Coloured or patterned concrete with finish is permitted. Plain concrete is not permitted.



## 18. Landscaping

A well landscaped garden improves the appearance of your property, its liveability and value. It provides enjoyment for most as well as screening and shade during summer.



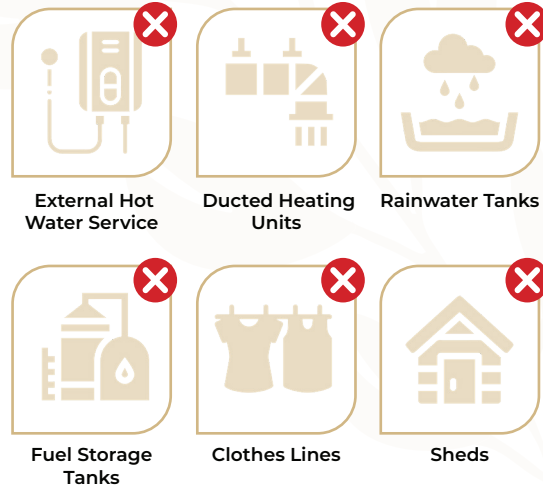
- As part of the building application to the DRP, a landscape plan of the front yard is to be submitted, showing species of plants, where they are to be planted, the total number of each species, and the size of each plant either as pot size or trunk diameter.
- Garden beds are to be mulched with natural coloured bark, organic material or stones and edged with a long lasting material. Plants in garden beds must be planted densely enough to ensure that within two years, a minimal amount of mulch is visible.
- At least one tree of at least 2 meters high at the time of planting, must be planted in the front yard.
- 60% of the front landscape should be a combination of vegetated garden beds, canopy trees, ground covers and turf, whether it be natural or synthetic. Synthetic grass only permitted inside the boundary. Hard surfaces should be limited to essential areas such as driveways and paths. No crushed rock, gravel or Lilydale topping is permitted.

- Maintenance of nature strips are the responsibility of the owner as is the removal of any litter or debris.
- Careful consideration should be given to plant selection to maximise water efficiency. Drip irrigation, recycled water use and mulching of garden beds should be utilised where possible.
- Letterboxes are to be contemporary in style in accordance with Australia Post standards. They are to be constructed from metal, timber, brick or rendered masonry with the street number displayed. No single post letterboxes are permitted.

## 19. Ancillary Structures and Outbuildings

Outbuildings and accessories are structures that are detached from the main part of the house such as sheds, external hot water services, heating units, rainwater tanks and clothes lines.

To protect the integrity of the house design it is important they are positioned inconspicuously on the lot, away from public view and screened where necessary.



- Sheds may be constructed from Colorbond or similar material and not exceed a height of 3.6 meters or floor area of 15m<sup>2</sup> and not be visible from the street or reserves.
- Prior to construction of any shed, approval from the DRP must be obtained.
- Accessory items on a lot with one street frontage are to be inconspicuous when viewed from the street. Items will be deemed to be inconspicuous if located in the rear 50% of the lot, fully screened or inside a building
- Accessory items on a corner lot are to be inconspicuous when viewed from all adjacent streets. Items will be deemed inconspicuous if located in the rear 50% of the lot and on the side of the house opposite the secondary street, fully screened or inside a building. Boats, caravans, trailers, commercial vehicles or other recreational vehicles are not permitted to be parked on your property unless they are screened from public view.
- Air conditioning units are to be located away from public view. Units on the roof must match the colour of the roof, be positioned below the roof ridge line and not be visible from streets or parks.
- External condensers of split air conditioning units including all associated plumbing, piping and cabling are not to be visible from streets or reserves or must be screened.
- On a hipped or gabled roof, solar panels must not be placed on the plane of the roof closest to or facing the primary street.
- Roll down security shutters are not permitted on the façade where the storage box is visible.

## 20. Recycled Water

All homes are required to have their sanitary flushing plumbed to the estate's recycled water.

## 21. During Construction

- Signage and hoarding boards and advertising products are not permitted.
- Throughout construction, builders' signs of maximum 600mm x 600mm are permitted as required on allotments however must be removed upon completion of construction.
- Site sheds, site toilets and power generators are permitted on all lots as necessary during the course of construction however must be removed upon completion.
- Unless approval is given by the DRP, the promotion of houses for sale will be limited to one sign for each property.

## 22. Others

### BAL (Bushfire Attack Level) Lots

Some lots in the Winterset Estate may be included within a Bushfire Prone Area under the Building Act 1993 and are hence subject to a Bushfire Attack Level (BAL) assessment. If this requirement applies, the house design should accommodate the relevant BAL as determined by their independent Building Surveyor.

### Telecommunication services.

Infrastructure for telecommunications within the estate will be provided by the developer but excludes the following:

- The installation of the fibre optic cabling
- The connections required for your house lot,
- The operation of the fibre optic network.

It is the responsibility of each lot owner to ensure the home will be capable of connecting to the service provider. The home builder and the service provider are to agree on how such services are to be provide

### Maintenance

The City of Wyndham Local Law 16 requires owners to maintain their vacant lot in a safe and tidy condition. Vacant lots within Winterset must be regularly maintained. This includes but is not limited to the following:

- Mowing of grass including nature strips / verges, including secondary street frontage for corner allotments;
- Removal of litter, rubbish and other debris.

The City of Wyndham Local Law 15 relating to buildings sites requires all building debris to be contained within the property boundaries and within a refuse receptacle with a fixed, closed lid. You must ensure your builder complies with this Local Law and empties them immediately when they become full.

### Advertising Signs On Lots

- The promotion of houses for sale and the advertising of builders during the construction of a house will be limited to one sign for each property unless the Design Panel gives prior approval.